

SHED														TOTAL	FSI AREA
BUILDING	FLOORS	COMM.	RESI.	IND.	EDU.	INS.	MEZZ.	BALCONY	TERRACE	LIFT	LIFTWELL	DUCT	VENT		
								PROF.					SHAFT		
SHED 2	FIRST FLOOR	0.00	0.00	287.70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	159.88	107.82
SHED 2	GROUND FLOOR	0.00	0.00	287.70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	287.70
SHED 2	Total	0.00	0.00	535.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	159.88	375.52

SHED														TOTAL	FSI AREA
BUILDING	FLOORS	COMM.	RESI.	IND.	EDU.	INS.	MEZZ.	BALCONY	TERRACE	LIFT	LIFTWELL	DUCT	VENT		
								PROF.					SHAFT		
SHED 1	FIRST FLOOR	0.00	0.00	135.86	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	79.94	55.92
SHED 1	GROUND FLOOR	0.00	0.00	135.86	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	135.86
SHED 1	Total	0.00	0.00	271.72	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	79.94	191.78

Owner details		
Owner Name	Postal Address	Contact Number
INFRASTRUCTURE AND DEVELOPERS PVT LTD	601 Gmar Building 69 Tardes Road,Tulsiwadi,Mumbai,Maharashtra-400034	983304412
JEET MANISH SHAH	601 Gmar Building 69 Tardes Road,Tulsiwadi,Mumbai,Maharashtra-400034	
SHAKOOR MANAL NOORANI	6301 ORCHID ENCLAVE,BELSIS ROAD MUMBAI CENTRAL,MUMBAI	



FSI DETAILS									
9 Index	Basic FSI (on serial no 1)	Premium FSI (on serial no 1)	TDR (on serial no 1)	Incentive FSI for green building If Applicable (on basic FSI)	Ancillary Area 80% of (2+3+4+5)	Ancillary Area 80% of (2+3+4+5)	Total	Inclusive Housing (20%) If Applicable	Drawing Value
9.1 Permissible Index	1.00	0.40	0.00	0.00	0.00	0.00	1.40	0.00	0.00
9.2 Existing Consumed Index	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9.3 Balance Index to be Consume	1.00	0.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9.4 Total Permissible P/Line Area	929.50	371.80	0.00	0.00	0.00	454.40	1755.70	0.00	0.00
9.5 Proposed P Line Area (Should not exceed 9.4)	566.00	0.00	0.00	0.00	0.00	0.00	566.00	0.00	567.30
9.6 Index Consumed	0.61	0.00	0.00	0.00	0.00	0.00	0.61	0.00	0.00

Parking Check (Table 8B)								
Building Name	USE	TENAMENT AREA	RATIO		NO.OF Tena/Area/Units	Required		
			car	Scooter		car	Scooter	Transport Vehicle/Ambulance/Mini Bus
SHED 2	Industrial	For every 300 sq.m. carpet area or fraction thereof	3	9	335.40	3.35	10.98	-
SHED 1	Industrial	For every 300 sq.m. carpet area or fraction thereof	3	9	168.70	1.69	5.06	-
Total	-	-	-	-	-	5.04	15.12	-

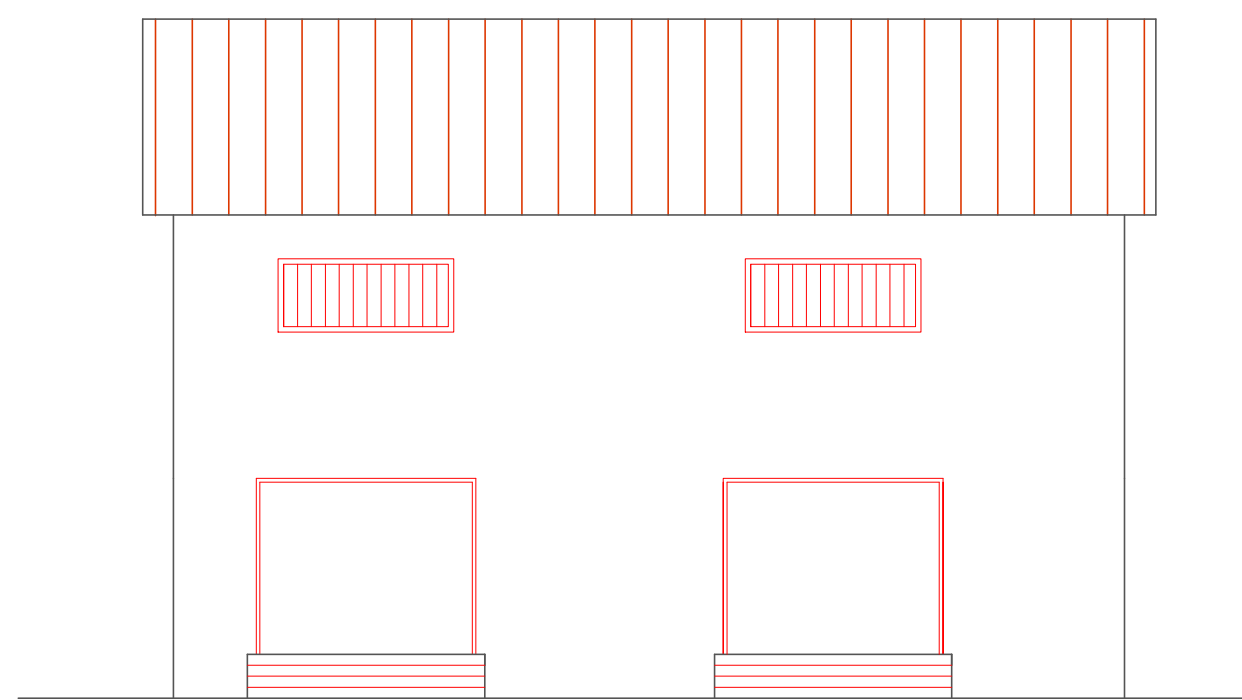
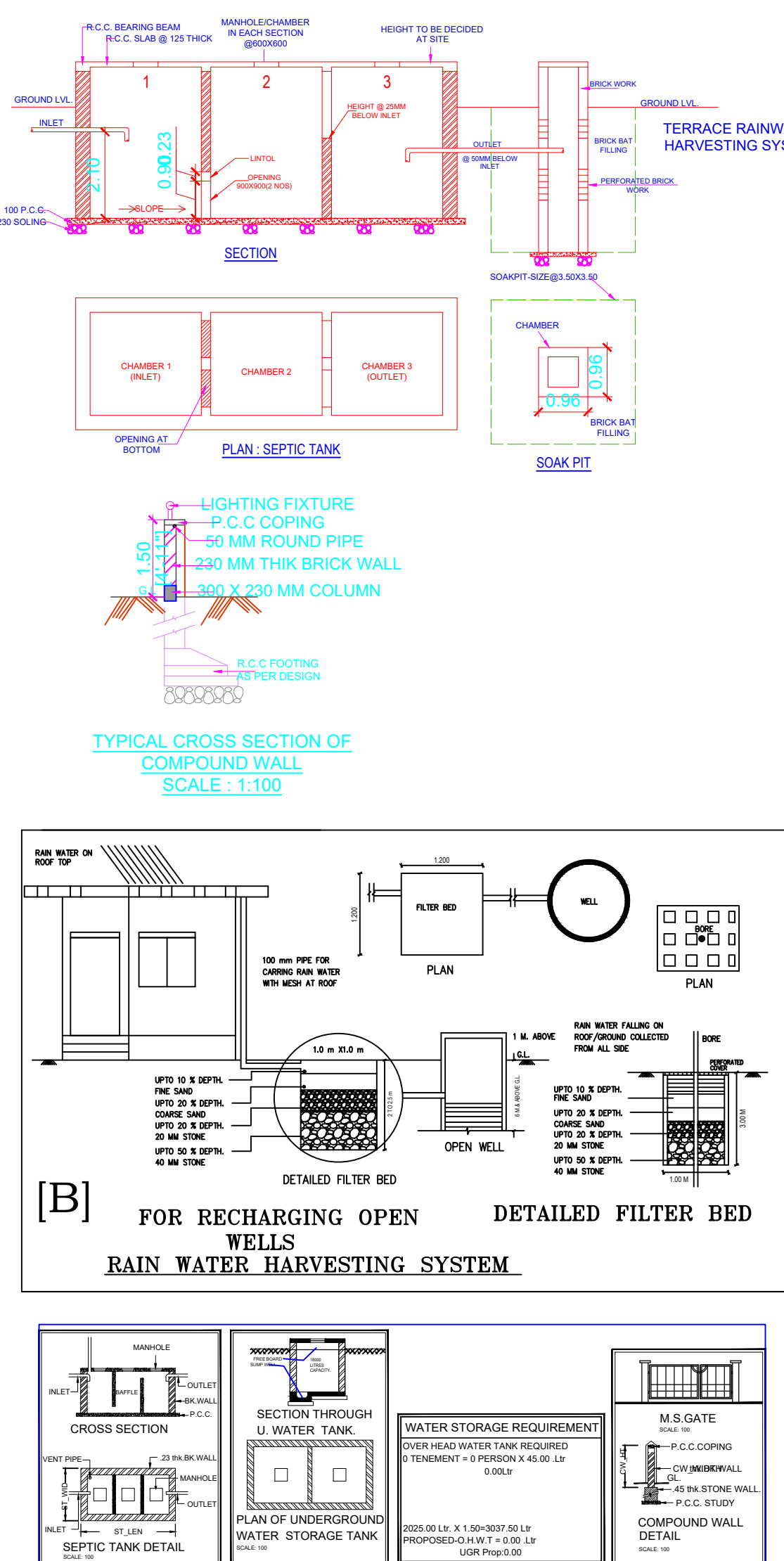
Parking Check As Per Multiplying Factor : 0.40							
Building Name	Required			Proposed			Status
	Car/Mini Bus	Scooter	Transport Vehicle/Ambulance/Mini bus	Car/Mini Bus	Scooter	Transport Vehicle/Ambulance/Mini bus	
Total	2	6	0	2	6	0	OK

Carpet Area Table						
Building Name	Floor Name	Carpet name	Tenement No	Carpet Area	Enclosed Balcony Area	Total Carpet Area
SHED 2	GROUND FLOOR	GALA 3	1	62.33	0.00	62.33
SHED 2	GROUND FLOOR	GALA 4	1	62.33	0.00	62.33
SHED 2	GROUND FLOOR	GALA 1	1	62.33	0.00	62.33
SHED 2	GROUND FLOOR	GALA 2	1	62.33	0.00	62.33
SHED 2	FIRST FLOOR	101	1	21.52	0.00	21.52
SHED 2	FIRST FLOOR	102	1	21.52	0.00	21.52
SHED 2	FIRST FLOOR	103	1	21.52	0.00	21.52
SHED 2	FIRST FLOOR	104	1	21.49	0.00	21.49

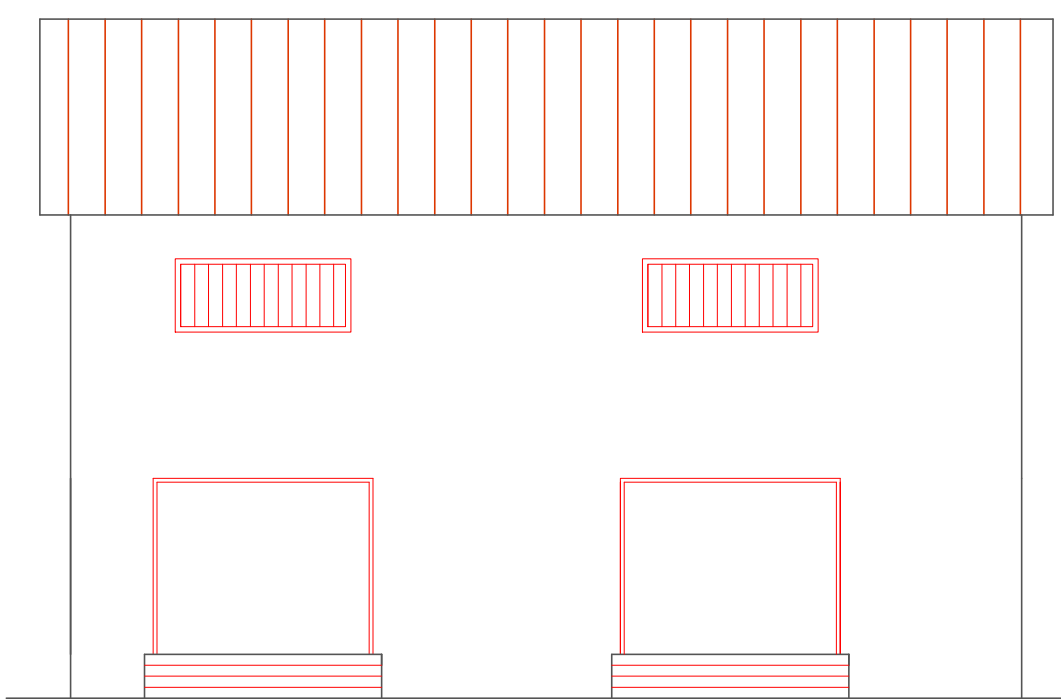
Carpet Area Table						
Building Name	Floor Name	Carpet name	Tenement No	Carpet Area	Enclosed Balcony Area	Total Carpet Area
SHED 1	GROUND FLOOR	GALA 5	1	62.82	0.00	62.82
SHED 1	GROUND FLOOR	GALA 6	1	62.82	0.00	62.82
SHED 1	FIRST FLOOR	106	1	21.52	0.00	21.52
SHED 1	FIRST FLOOR	105	1	21.52	0.00	21.52

SCHEDULE OF OPENING:				
BLD NAME	NAME	LENGTH	HEIGHT	NOS.
SHED 1	V1	0.60	1.20	1
SHED 1	W1	2.15	1.20	2
SHED 1	V1	0.60	1.20	2
SHED 2	V1	0.60	1.20	1
SHED 2	V1	0.60	1.20	3
SHED 2	W2	1.55	1.20	1
SHED 2	W2	1.60	1.20	3
SHED 2	V2	4.00	1.20	4

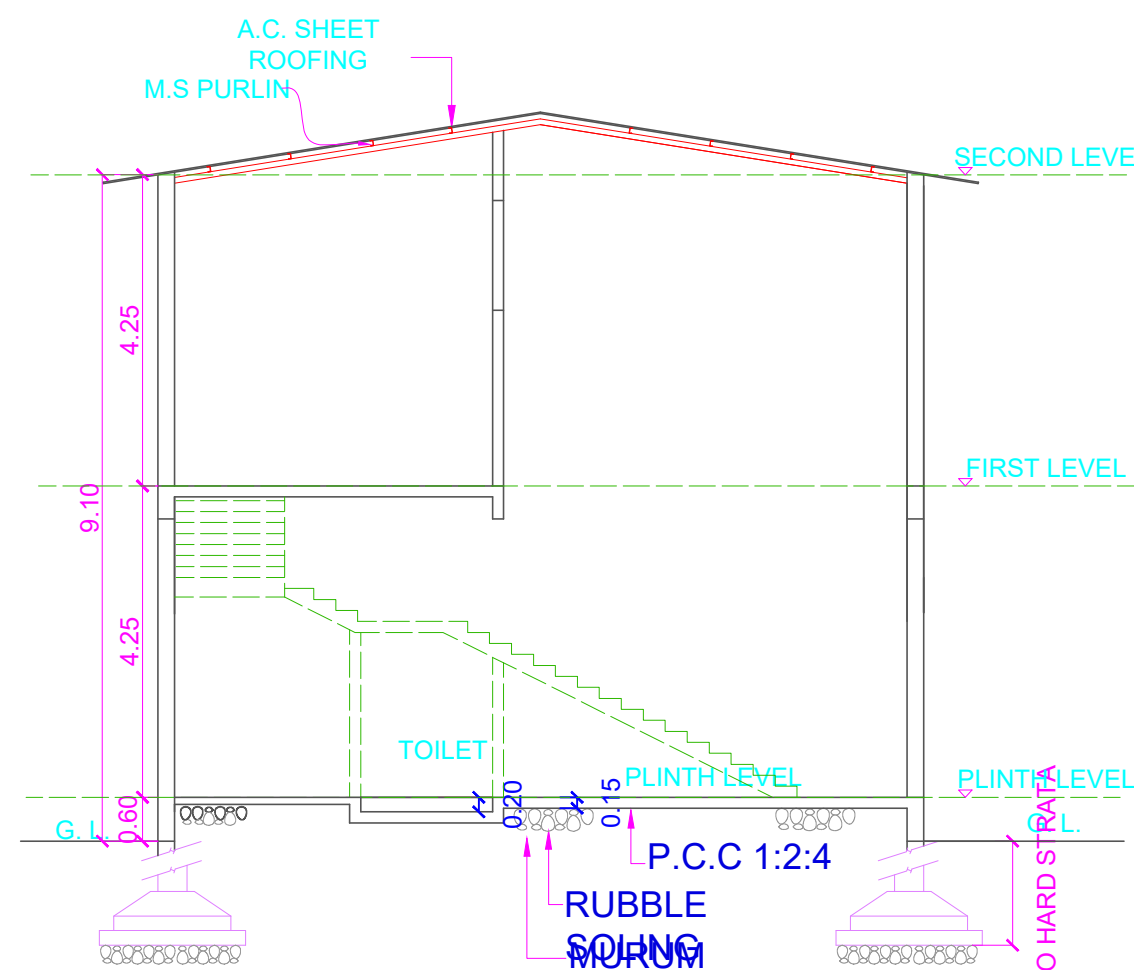
SCHEDULE OF OPENING:				
BLD NAME	NAME	LENGTH	HEIGHT	NOS.
SHED 1	RS1	3.65	2.40	2
SHED 1	RS2	2.15	2.10	2
SHED 1	D2	0.75	2.10	2
SHED 2	RS1	3.65	2.40	4
SHED 2	D2	0.75	2.10	4



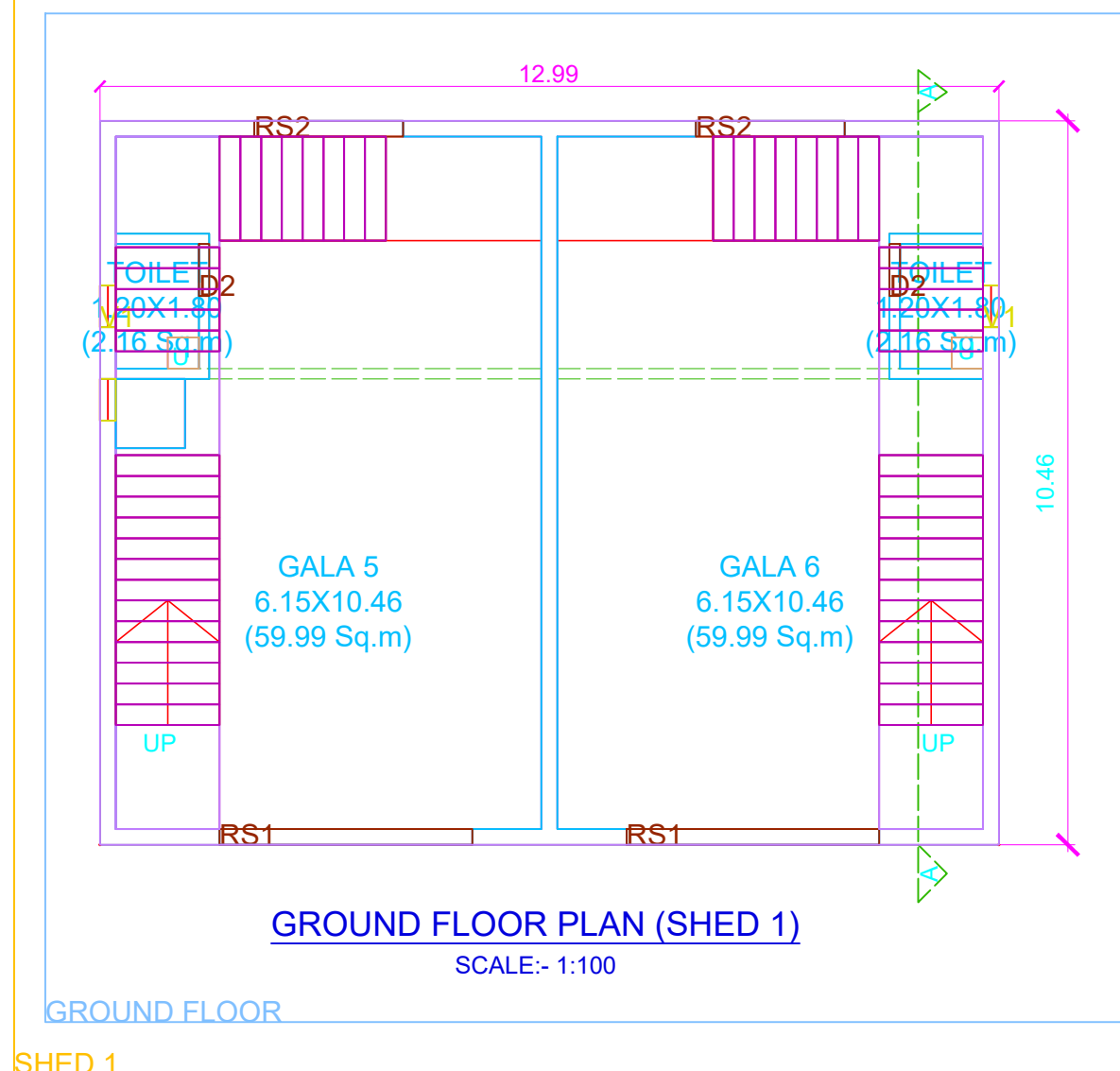
FRONT ELEVATION (SHED 1)
SCALE:- 1:100



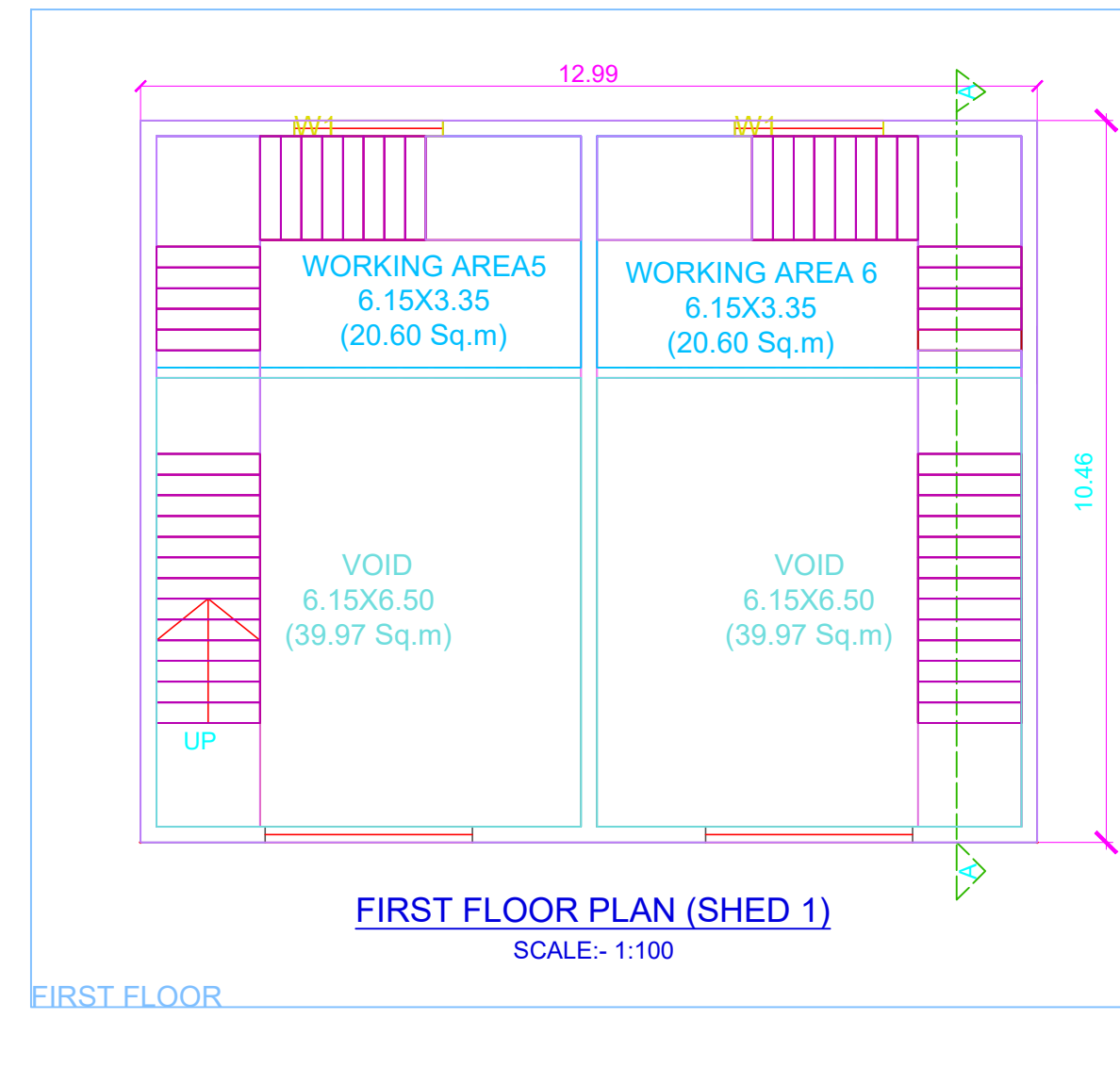
FRONT ELEVATION (SHED 2)
SCALE:- 1:100



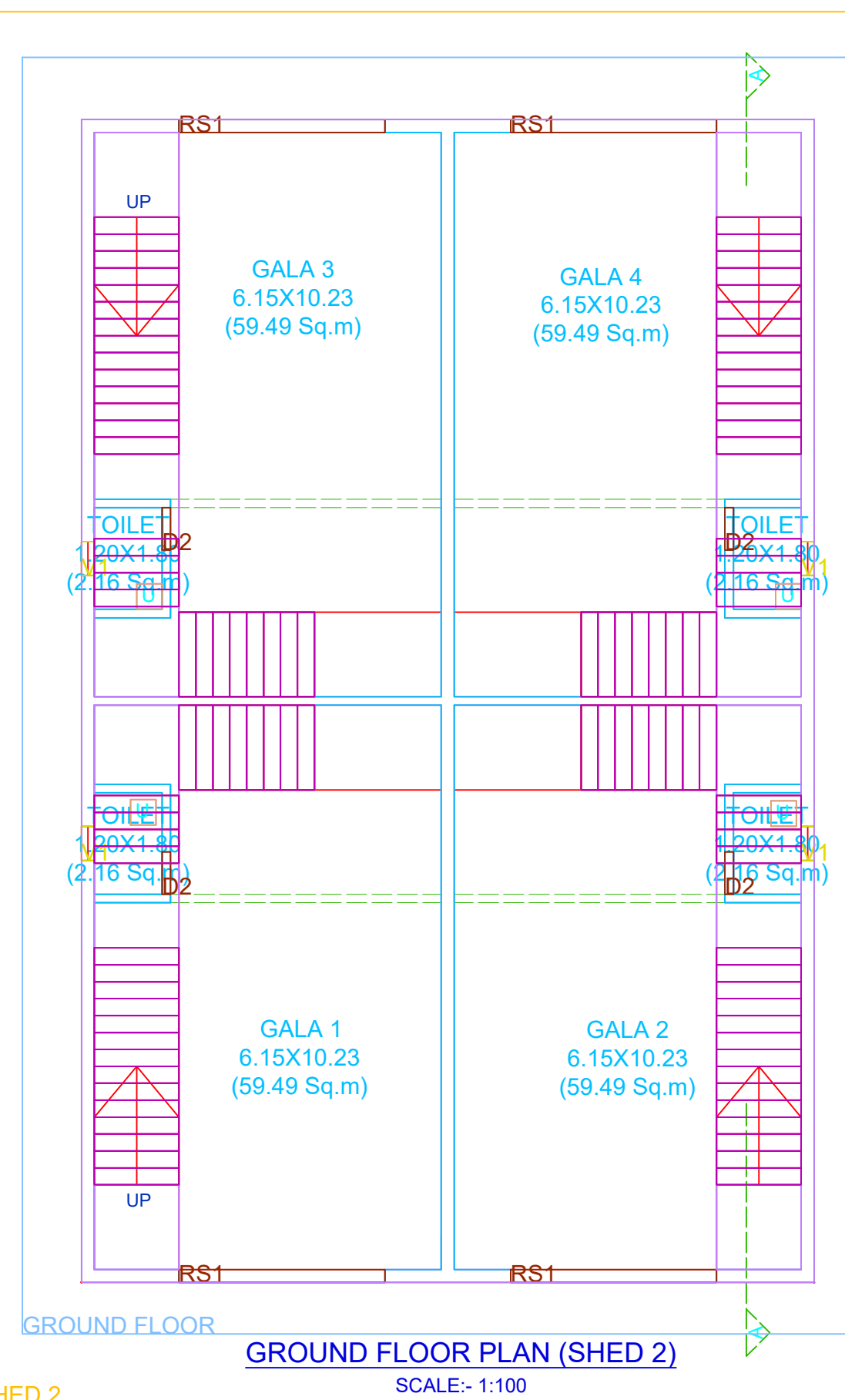
SECTION A (SHED 1)
SCALE:- 1:100



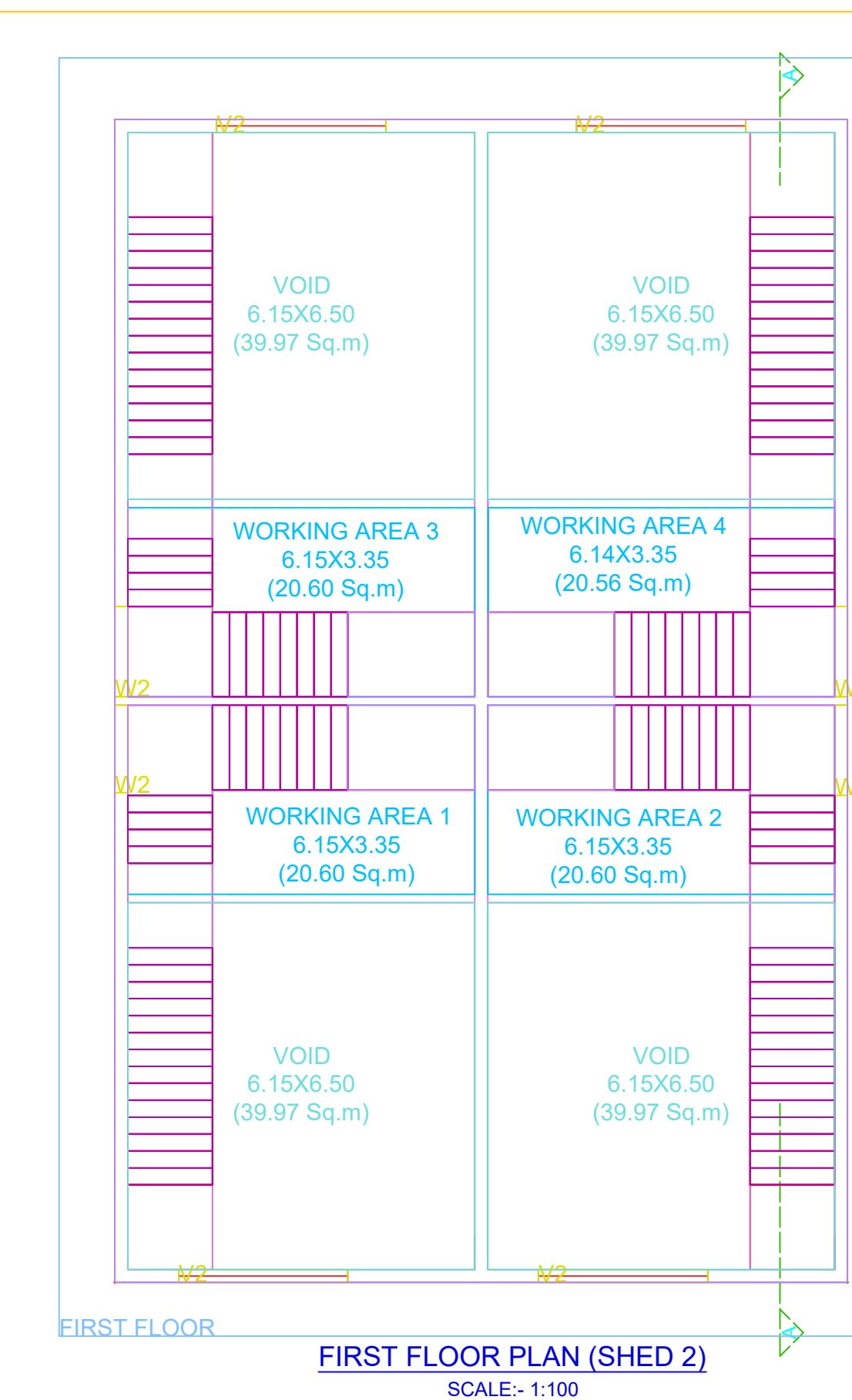
GROUND FLOOR PLAN (SHED 1)
SCALE: 1:100



FIRST FLOOR PLAN (SHED 1)
SCALE: 1:100



GROUND FLOOR PLAN (SHED 2)
SCALE: 1:100



FIRST FLOOR PLAN (SHED 2)
SCALE: 1:100

BUILT UP AREA CALCULATION FOR GROUND FLOOR SHED 1			
AREA NAME	LENGTH	WIDTH	Area(Sq.M)
BLOCK	12.99	10.46	135.86
BLOCK AREA TOTAL +135.86Sq.M			
TOTAL Deduction +0.00Sq.M			
Net BuiltUp Area +135.86 Sq.M			

BUILT-UP AREA CALCULATION GROUND FLOOR SHED 1

BUILT UP AREA CALCULATION FOR FIRST FLOOR SHED 1			
AREA NAME	LENGTH	WIDTH	Area(Sq.M)
BLOCK	12.99	10.46	135.86
BLOCK AREA TOTAL +135.86Sq.M			
Void1	-	-	39.97
Void2	-	-	39.97
TOTAL Deduction +79.94Sq.M			
Net BuiltUp Area +55.92 Sq.M			

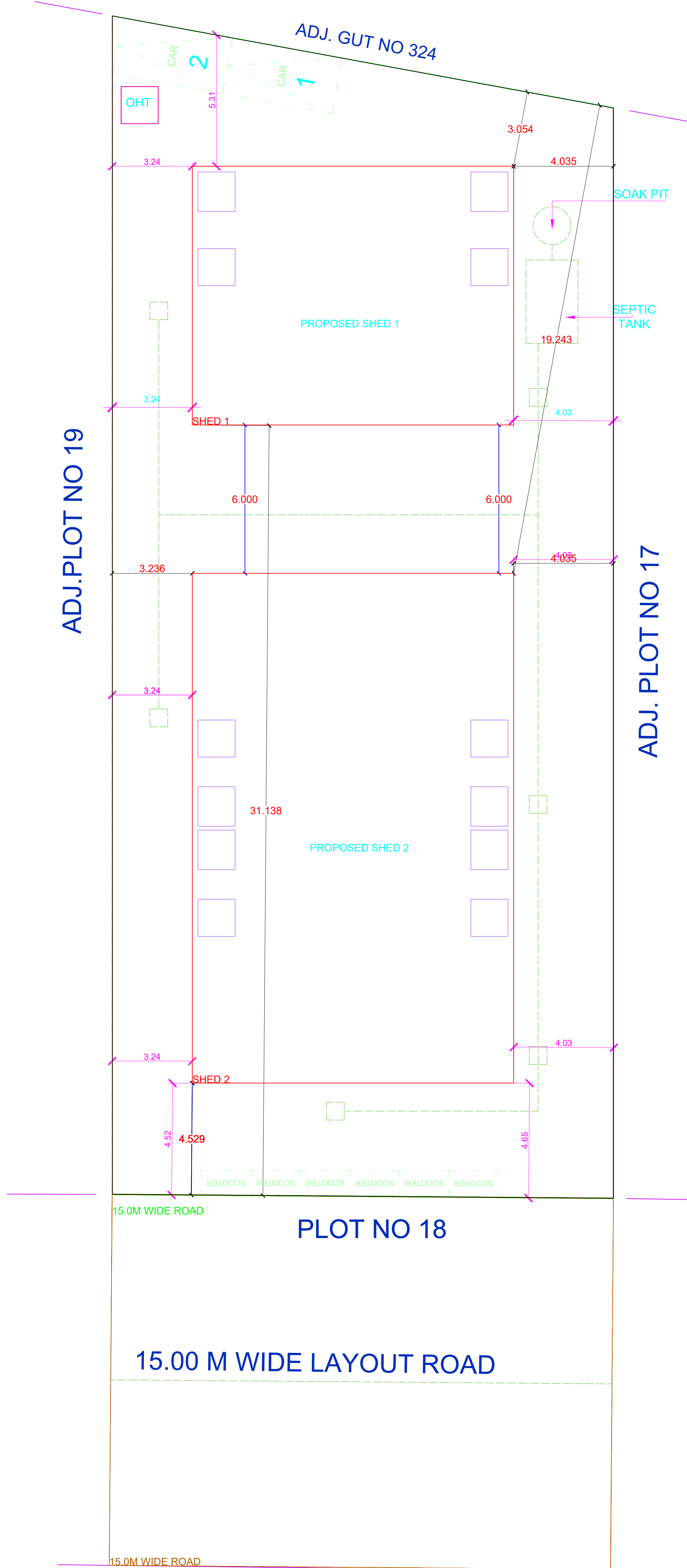
BUILT-UP AREA CALCULATION FIRST FLOOR SHED 1

BUILT UP AREA CALCULATION FOR GROUND FLOOR SHED 2			
AREA NAME	LENGTH	WIDTH	Area(Sq.M)
BLOCK	12.99	10.46	135.86
BLOCK AREA TOTAL +135.86Sq.M			
TOTAL Deduction +0.00Sq.M			
Net BuiltUp Area +135.86 Sq.M			

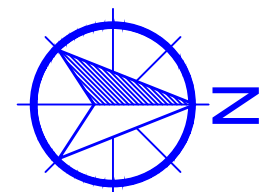
BUILT-UP AREA CALCULATION GROUND FLOOR SHED 2

BUILT UP AREA CALCULATION FOR FIRST FLOOR SHED 2			
AREA NAME	LENGTH	WIDTH	Area(Sq.M)
BLOCK	12.99	10.46	135.86
BLOCK AREA TOTAL +135.86Sq.M			
Void1	-	-	39.97
Void2	-	-	39.97
Void3	-	-	39.97
Void4	-	-	39.97
TOTAL Deduction +159.88Sq.M			
Net BuiltUp Area +107.82 Sq.M			

BUILT-UP AREA CALCULATION FIRST FLOOR SHED 2



SITE PLAN
SCALE:1:100



Project Details	
Building Type - Building Development	
Zone Type - Industrial Zone	
Location - Non-Congested	
Ward No - 18	
Cts No./Survey No. -	
Sheet No. - 1	
Zone Number -	
Ward Name -	
Priorate Value -	0.00

LEGENDS:	
1. Area of plot (Minimum area of a, b, c to be considered) or area of subplot with sanctioned layout No. and subplot No.	929.50
(a) As per ownership document (7/12, CTS extract)	929.50
(b) as per TLR or City Survey measurement sheet	929.50
(c) as per Demarcated drawing area	929.50
LESS	
2 Area not in possession	0.00
3. Entire area (1-2)	929.50
4.Deductions for	-
(a) Proposed D.P./D.P. Road widening Area /Service Road/Highway widening	0.00
(b) Any D.P. Reservation area	0.00
(Total a+b)	0.00
5.Balance area of plot (3-4)	929.50
6. Amenity Space	0.00
(Applicable if (1) > 20000 sqmt	-
(Required - (a) Upto 20000 sqmt - Nil	-
(b) Above 20000 sqmt - (a) + 5 % of Total area	0.00
7. Net Plot Area (5-6)	929.50
8. Recreational Open Space:	-
(a) If area (6) is more than 4000 sqmt - 10 % of (6) is required	0.00
Proposed	0.00
(b) If area is less than 4000 sqmt - Check -	-
(i) If it is full number like 1.2, 125, 419, etc. As per 7.12 abstract of City Survey Number - No Recreational open space is required	-
(ii) If it is subdivision like 12.25, 125/14191 etc then recreational open space is required	-
(A) 10 % Subject to minimum 200 sqmt	0.00
Proposed	0.00
(B) Exemption to leave open space subject to availing basis: S.I. of 75 %	-
(C) Exemption to leave open space subject to payment of 10 % land value of land at (7) as per annual statement of rate.	-
Certificate of Area:	
Certified that the plot under reference was surveyed by me on 2023-10-25 and the dimensions of sides etc. of plot stated origin are as measured on site and the area so worked out tallies with the area stated in document of Ownership/ T.P. Scheme Records/Land Records Department/City Survey records.	
Signature (Name of Architect/Licensed Engineer/ Supervisor)	
Owner's Declaration - We undersigned hereby confirm that We would abide by plans approved by Authority / Collector. We would execute the structures as per approved plans. Also We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.	
Owner (s) name and signature	
Architect /Licensed Engineer/ Supervisor name and signature	
Job No.	
Postal Address - 601 Gmar Building 69 Tardes Road,Tulsiwadi,Mumbai,Maharashtra-400034 5301 ORCHID ENCLAVE,BELSIS ROAD MUMBAI CENTRAL,MUMBAI	
DESCRIPTION OF PROJECT :	
Type of Proposal - Industrial BUILDING ON CTS NO SURVEY NO. -	
SITE ADDRESS: GUT NO 3612/3641,PLOT NO 18, VILLAGE NANORE, TALUQIST PALGHAR	
Name Of Architect - SNEHAL BASAVARAJ KINIKAR	
ADDRESS OF OFFICE	
LOGO	
OFFICE - 95, Wing A, Near One Building, Opp Satter Galla, Satter Golden Point Bldg, Main Road, Palghar-401610	
OWNERS SIGN - TECHNICAL PERSON SIGN	
Verified by architect	
SCALE - 1:100	Date: 04/11/23
JOB NO - RPP/PS-23-00915	CHECK BY -
SUBMISSION DRAWING	

